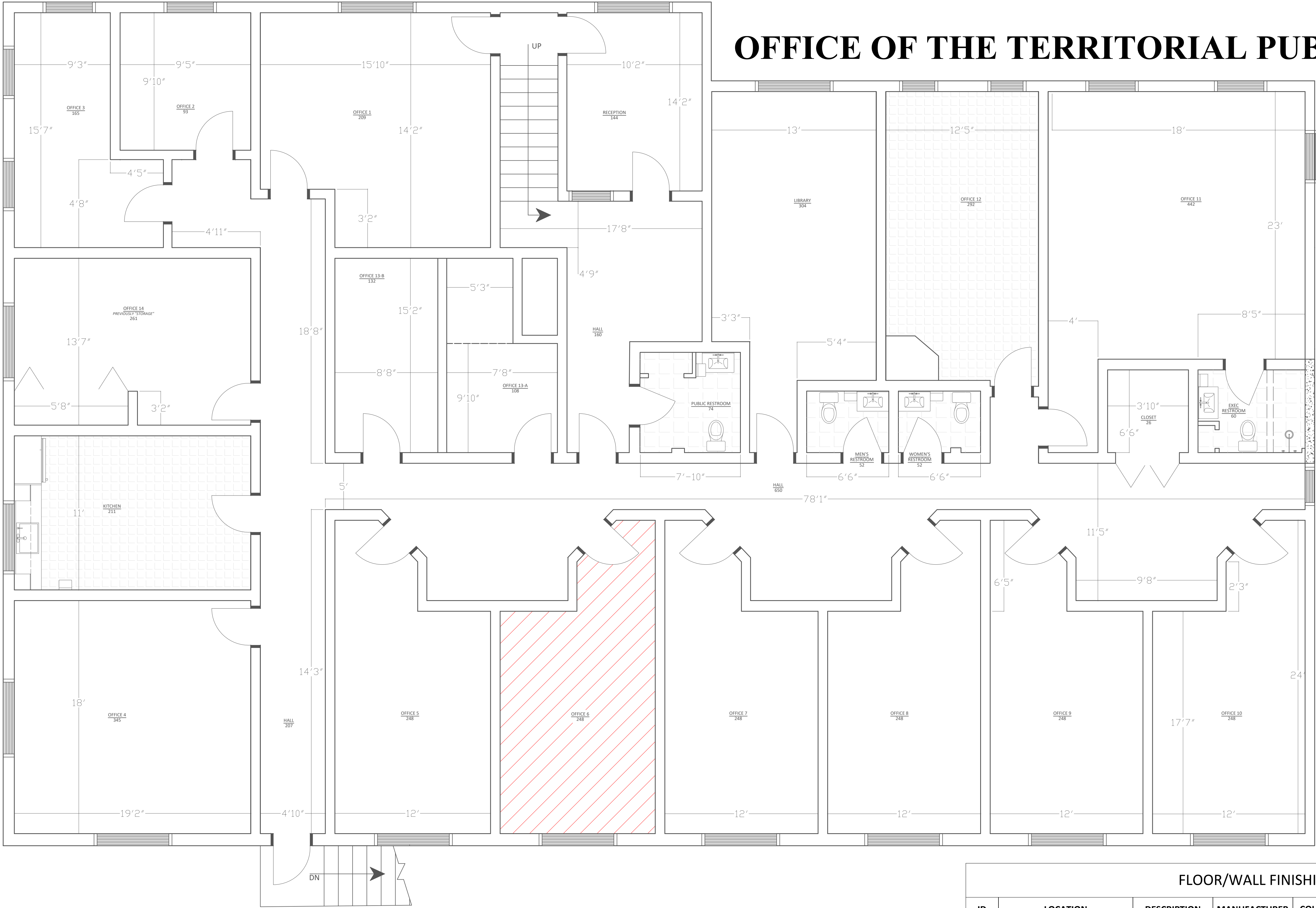


OFFICE OF THE TERRITORIAL PUBLIC DEFENDER



NOTES:

APPROXIMATE AREA (SF) INDICATED UNDER EACH ROOM NAME

OFFICE #6 - TILE ALREADY INSTALLED W/NEW BASE BOARD

BATHROOMS - TILE HEIGHT IS 5'10"

DOORS - WIDTH IS 3'2"

FLOORING NOT TO BE REPLACED

EXISTING TILED AREAS



FLOOR/WALL FINISHING SCHEDULE

ID	LOCATION	DESCRIPTION	MANUFACTURER	COLOR/MODEL/SIZE	GROUTING	SF	COMMENTS
FF01	OFFICES 1-5, 7-11, 13A, 13B, 14, RECEPTION, HALLS, LIBRARY, CLOSET	FLOOR TILE	UNIFLOOR AQUA	MATTE WHITE/BROWN, PORCELAIN, 24x24	N/A	4486	EXISTING CARPETING TO BE REPLACED
FF02	PUBLIC RESTROOM, EXEC BATHROOM, MENS RESTROOM, WOMENS RESTROOM	FLOOR TILE	HOME DEPOT	MATTE WHITE/BROWN, PORCELAIN, 24x24	WHITE	238	EXISTING TILE TO BE REPLACED
FF03	PUBLIC RESTROOM, EXEC BATHROOM, MENS RESTROOM, WOMENS RESTROOM	WALL TILE	HOME DEPOT	MATTE BROWN, PORCELAIN, 12x24	WHITE	489	EXISTING TILE TO BE REPLACED
FF04	STAIRCASE	FLOOR TILE	UNIFLOOR AQUA	MATTE WHITE/BROWN, PORCELAIN, 24x24	N/A	89	EXISTING CARPETING TO BE REPLACED
FF05	KITCHEN, OFFICE 12	FLOOR TILE	UNIFLOOR AQUA	MATTE WHITE/BROWN, PORCELAIN, 24x24	N/A	503	EXISTING TILE TO BE REPLACED
FF06	OFFICE 6	N/A	N/A	N/A	N/A	248	EXISTING TILE, NOT TO BE REPLACED
FF07	(ALL WALLS)						

LOCATION

ST. CROIX  
U.S. VIRGIN ISLANDS

OWNER

OTPD

FLOOR PLAN -  
GENERAL LAYOUT

SCALE

NTS

APPROVAL

REVISIONS


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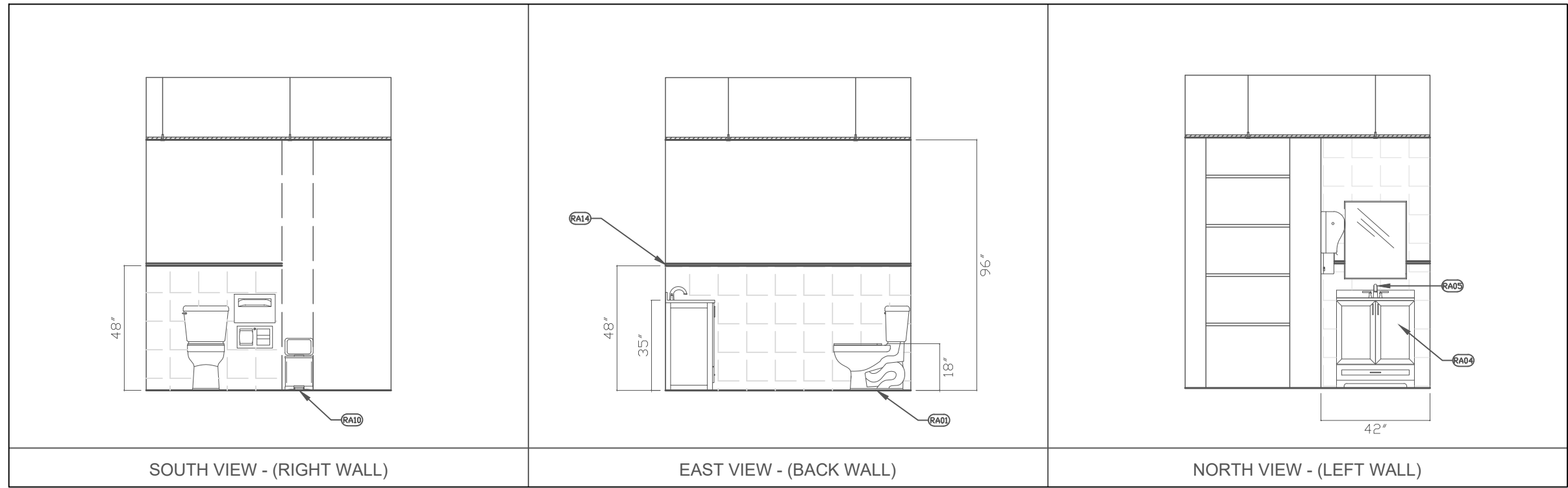
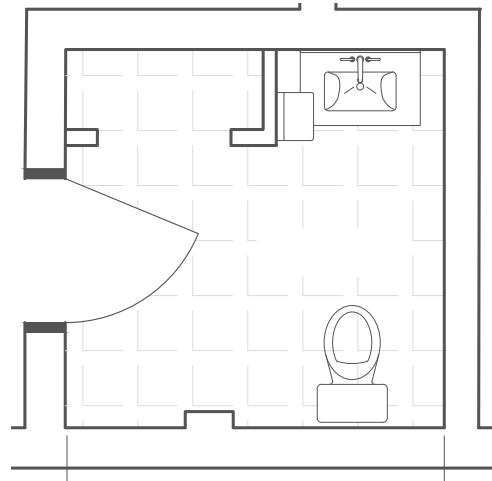
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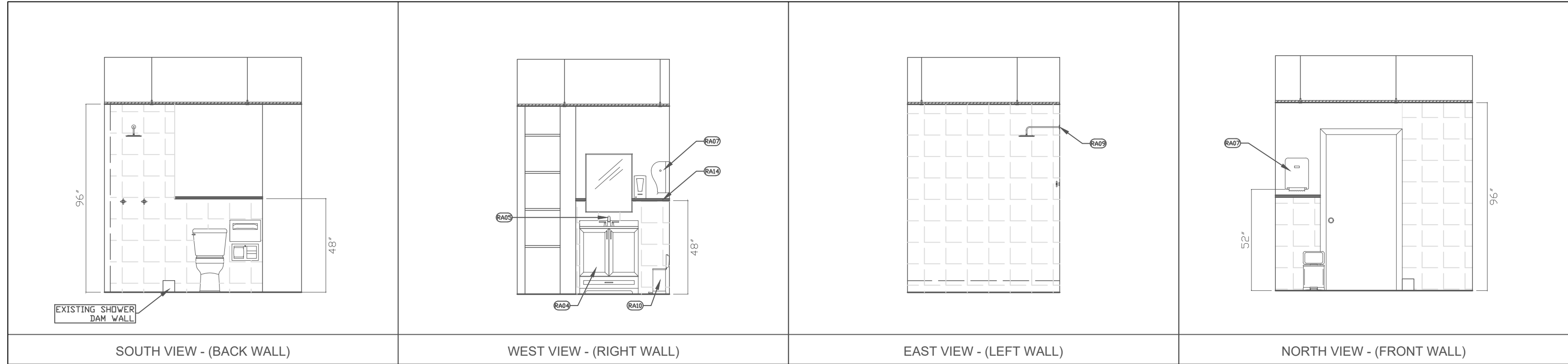
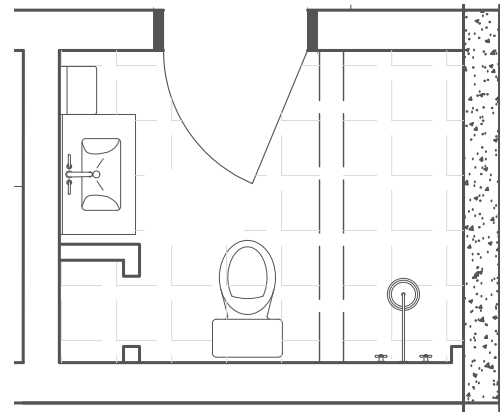
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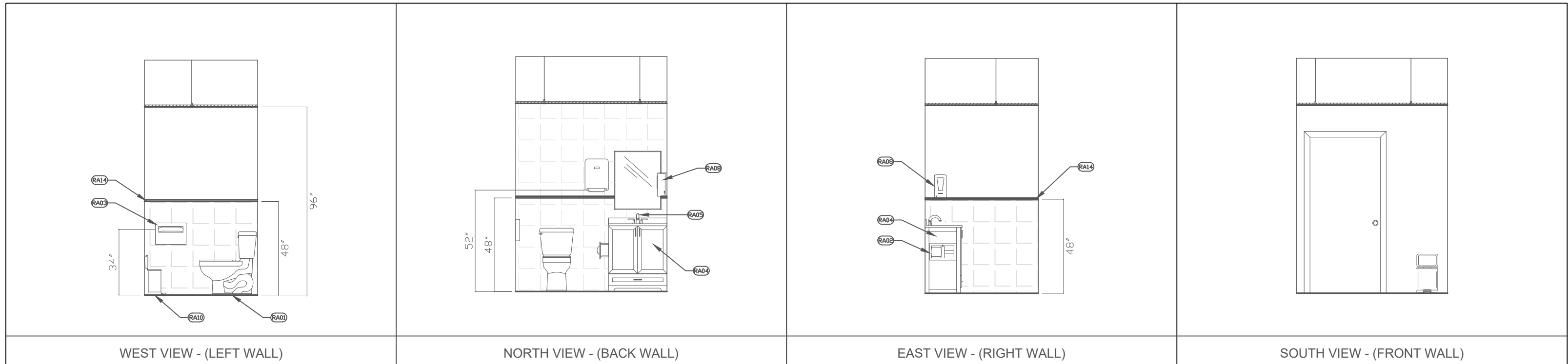
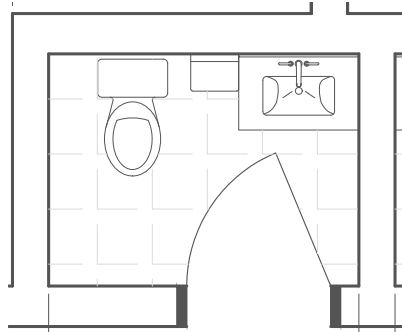
1 FLOOR PLAN - FINISHED INTERIOR DIMENSIONS  
NOT TO SCALE



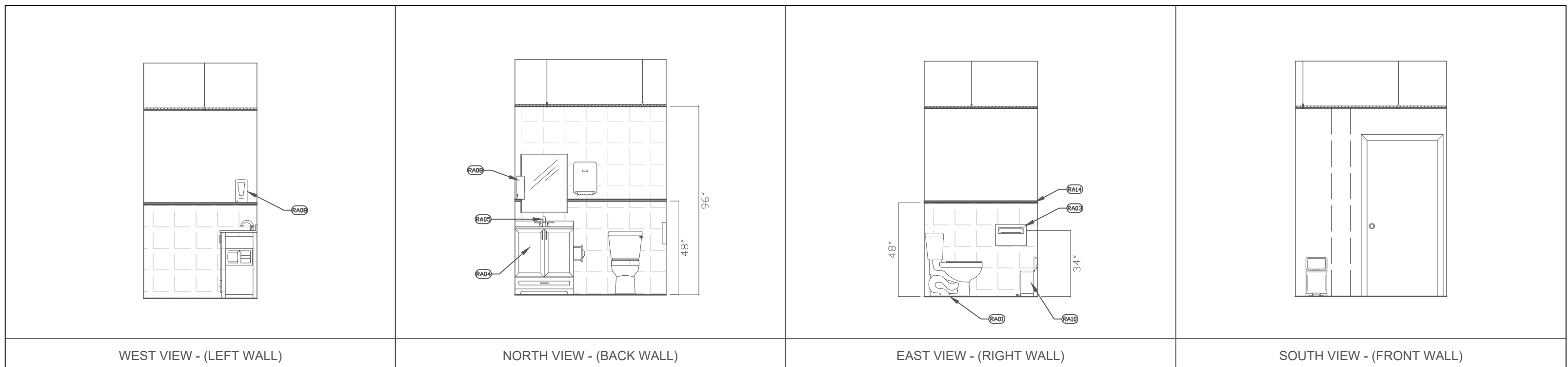
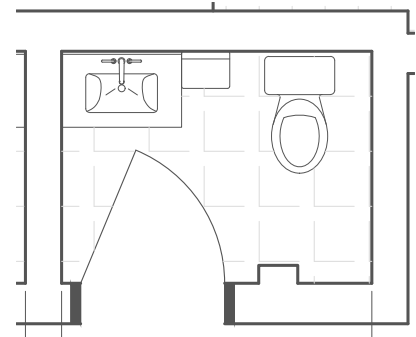
2 PUBLIC RESTROOM LAYOUT AND ELEVATIONS  
1/4" = 1'-0"



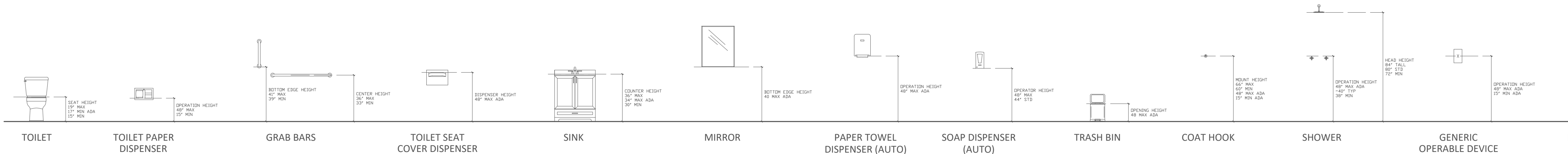
3 EXECUTIVE RESTROOM LAYOUT AND ELEVATIONS  
1/4" = 1'-0"



4 MEN'S RESTROOM LAYOUT AND ELEVATIONS  
1/4" = 1'-0"



5 WOMEN'S RESTROOM LAYOUT AND ELEVATIONS  
1/4" = 1'-0"



6 BATHROOM ACCESSORY MOUNTING HEIGHTS  
1/4" = 1'-0"

## RESTROOM ACCESSORY SCHEDULE

ID	DESCRIPTION	MODEL	QTY	COMMENTS
RA01	TOILET (TOUCHLESS FLUSH)	AMERICAN STANDARD 2989709.020	4	OR APPROVED EQUAL
RA02	TOILET PAPER DISPENSER	BOBRICK B-4288	4	OR APPROVED EQUAL
RA03	TOILET SEAT COVER DISPENSER	BOBRICK BOB4221	4	OR APPROVED EQUAL
RA04	SINK, VANITY	GLACIER BAY, MARBLE TOP	4	OR APPROVED EQUAL
RA05	SINK, FAUCET (AUTO)	HALO SANITARY	4	OR APPROVED EQUAL
RA06	MIRROR (24X30)	GLACIER BAY, FRAMELESS BEV.	4	OR APPROVED EQUAL
RA07	PAPER TOWEL DISPENSER (AUTO)	RENOWN 8" BLK REN05175-WB		OR APPROVED EQUAL
RA08	SOAP DISPENSER (AUTO)	ALPINE 1200ML AUTO W/ADAPTER	1	OR APPROVED EQUAL
RA09	SHOWER HEAD/FAUCET	TBD	1	
RA10	TRASH BIN	TBD	4	
RA11	LIGHT/VENT FAN SWITCH (MOTION SENSING)	ELEGRP SP170S	3	OR APPROVED EQUAL
RA12	AIR FRESHNER (AUTO)	TBD	4	
RA13	DOOR OPENER, AUTOMATIC	OLIDE-120B	3	OR APPROVED EQUAL
RA14	METAL TILE EDGER			
RA15	VANITY LIGHT FIXTURE		4	

LOCATION  
ST. CROIX  
U.S. VIRGIN  
ISLANDS

OWNER  
OTPD

## RESTROOM GENERAL DETAILS

SCALE  
NTS

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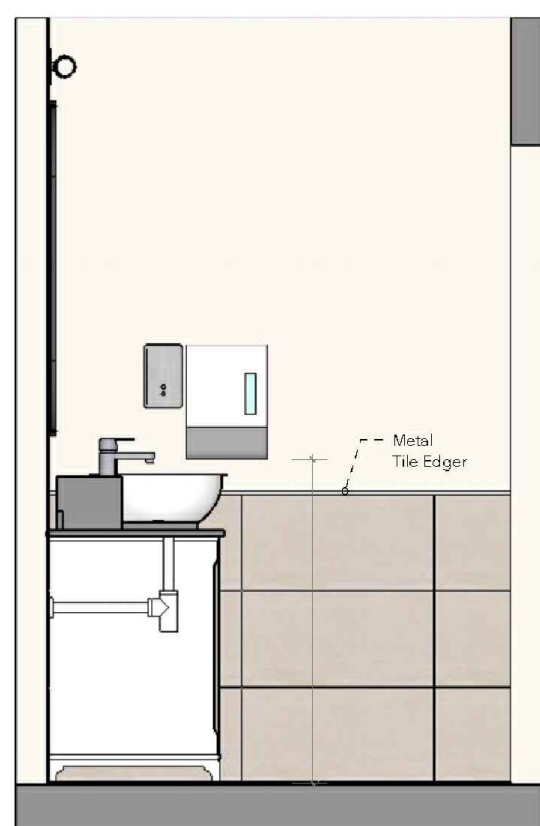
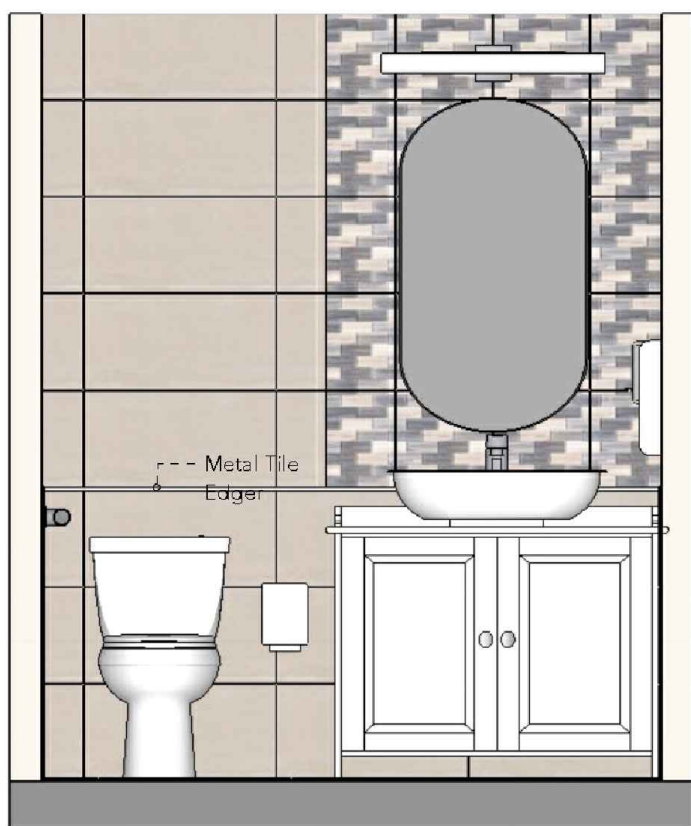
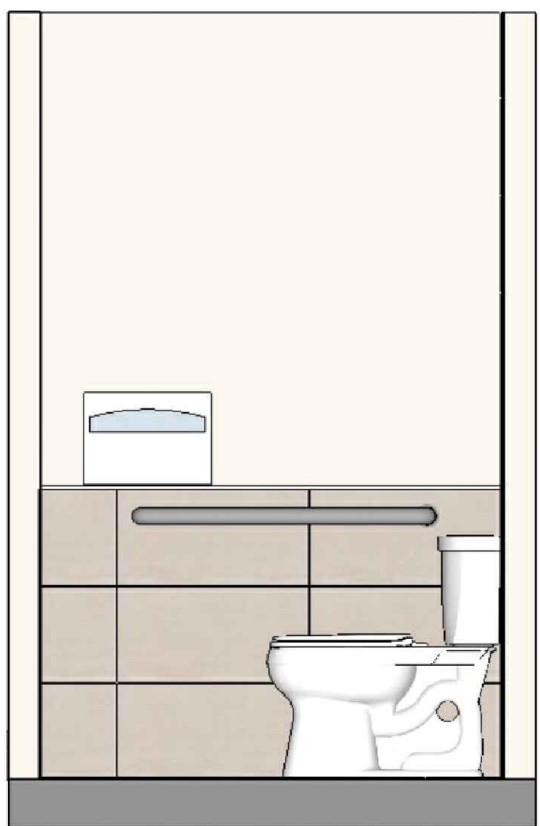
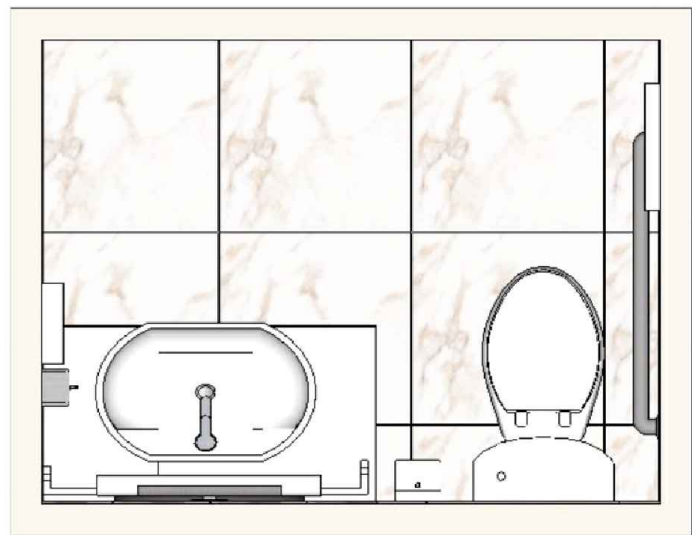
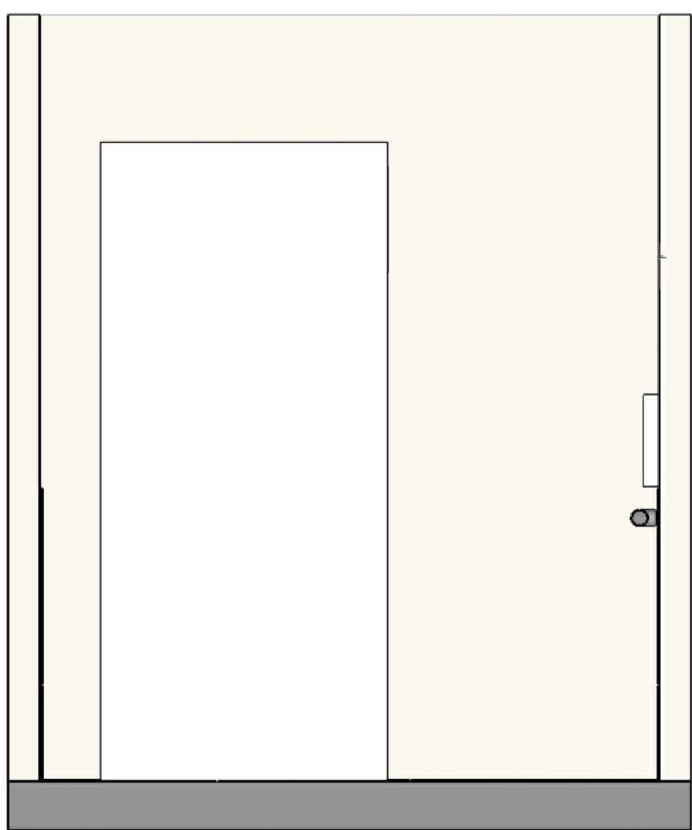
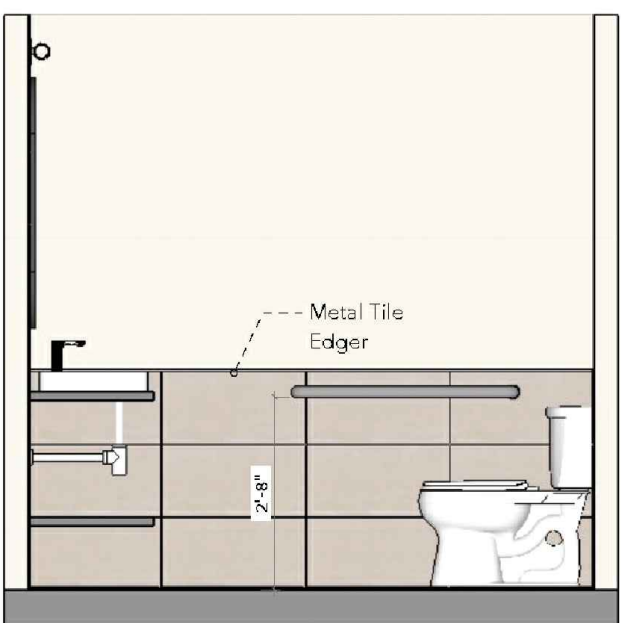
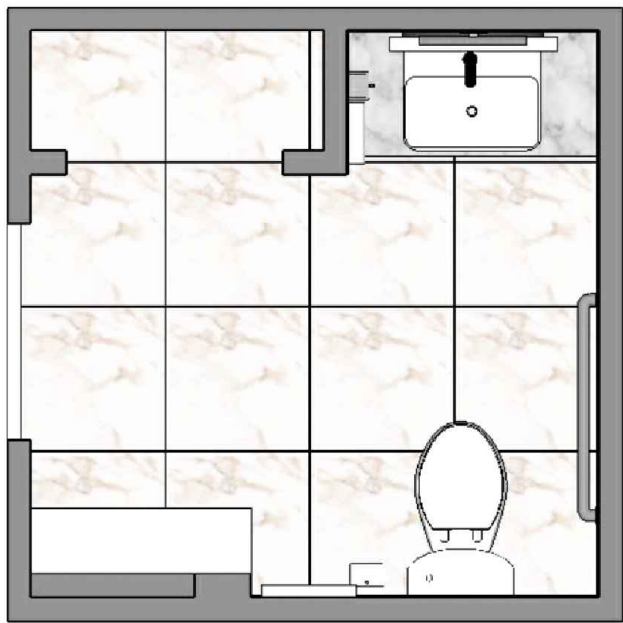
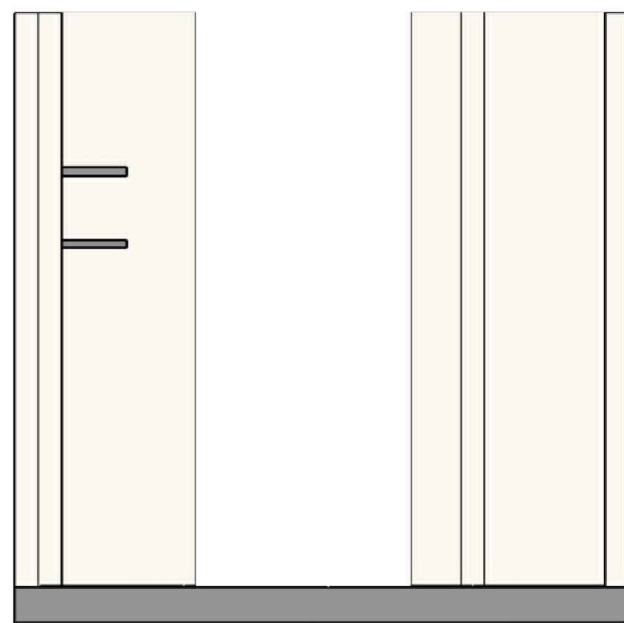
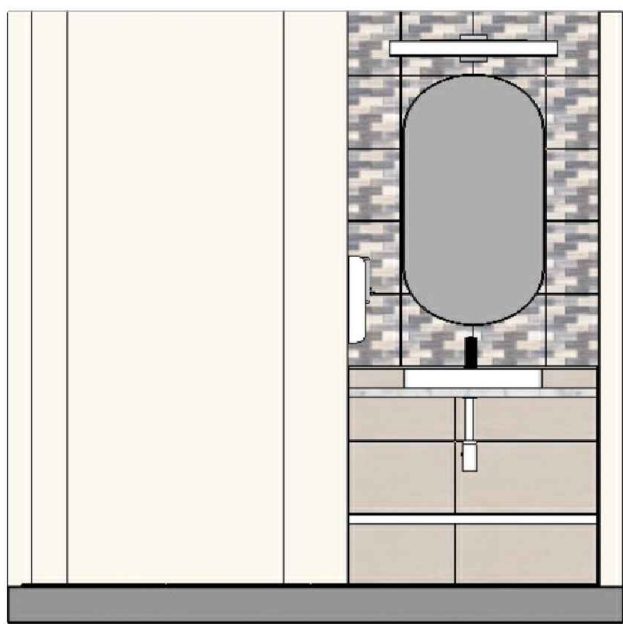
2 OF 5

EJS Project  
Management  
Group



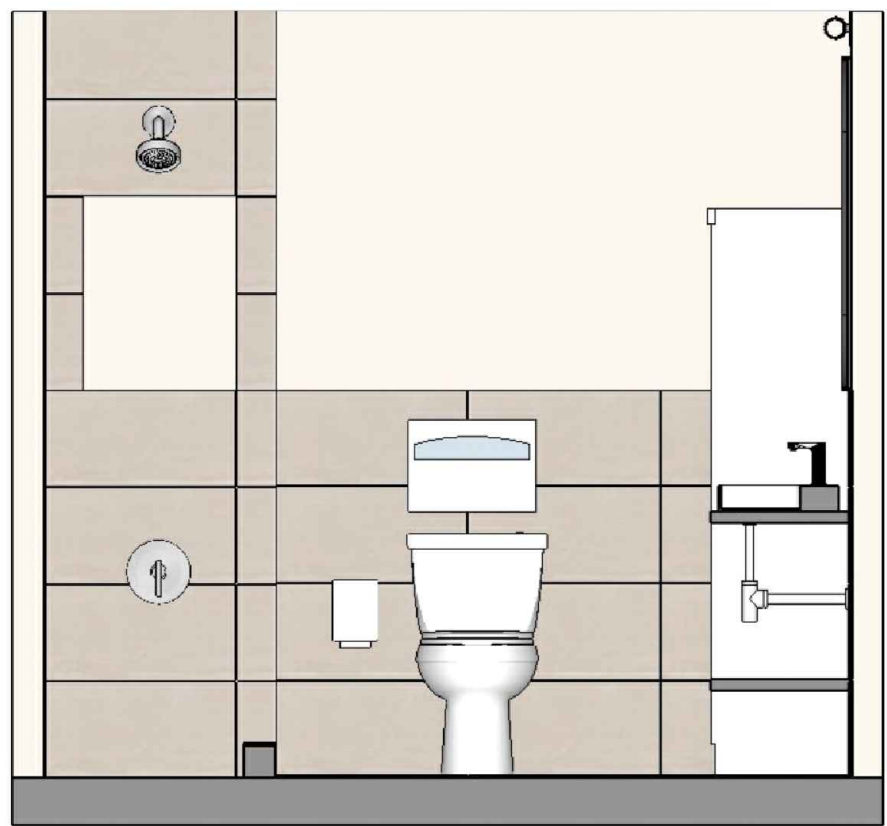
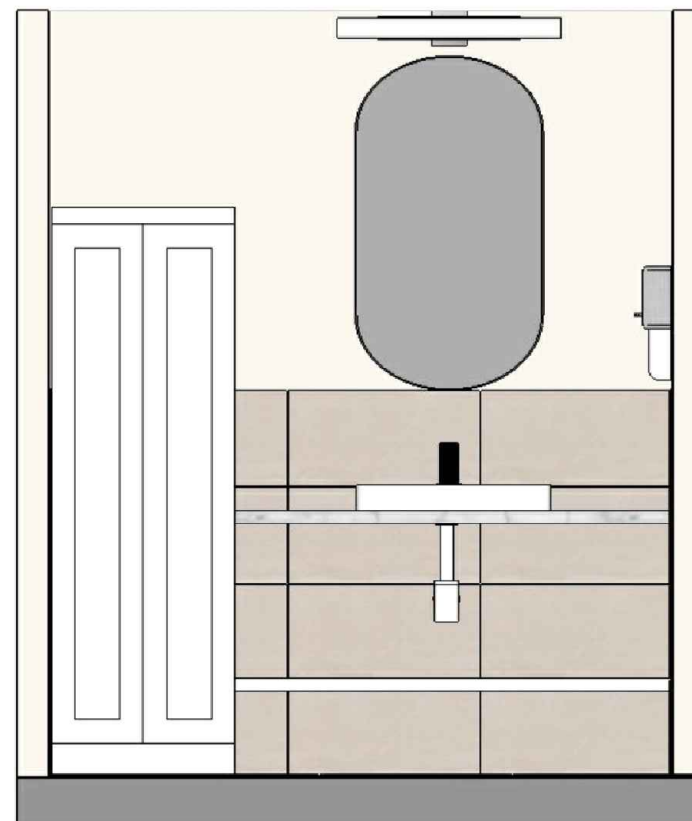
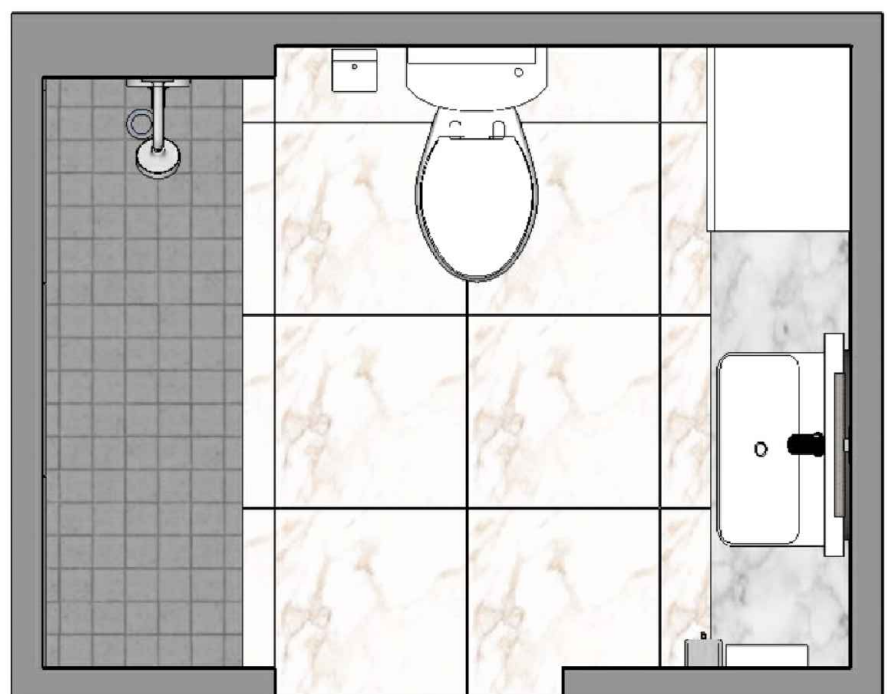
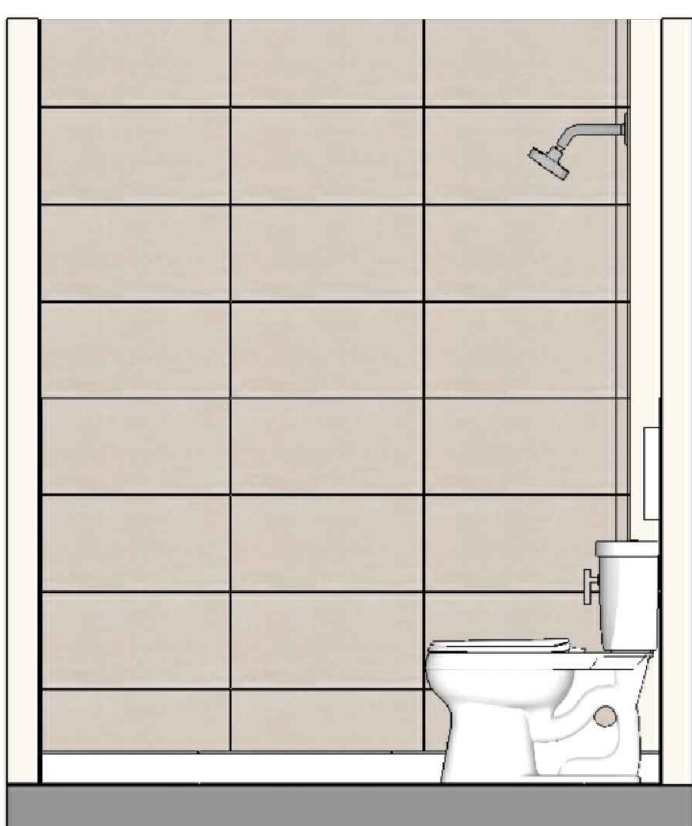
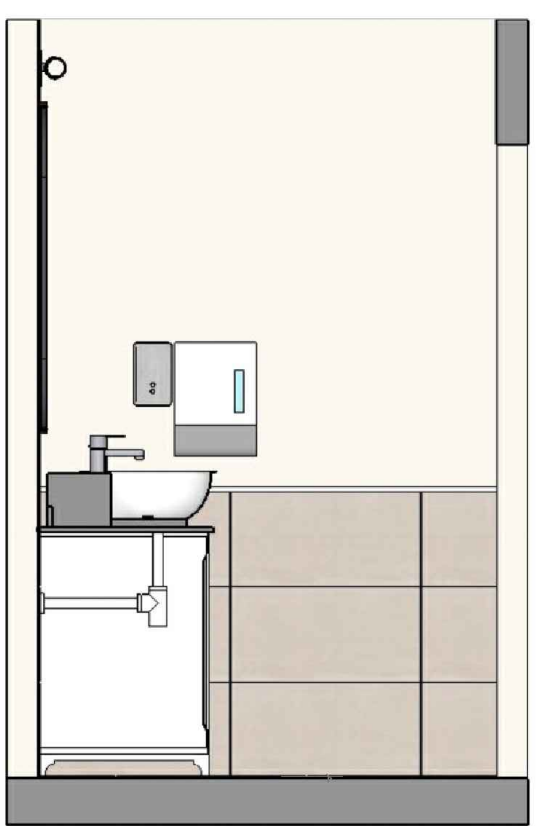
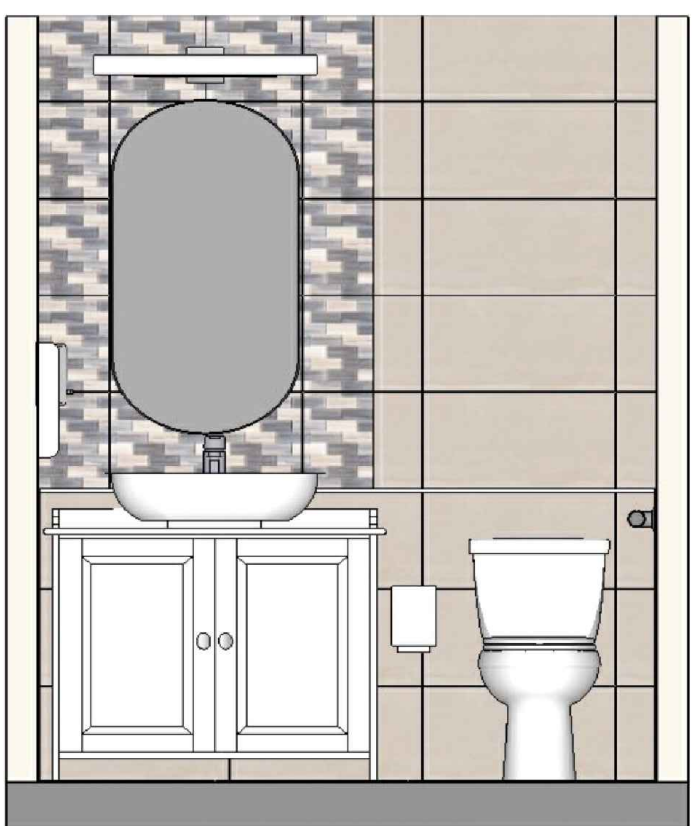
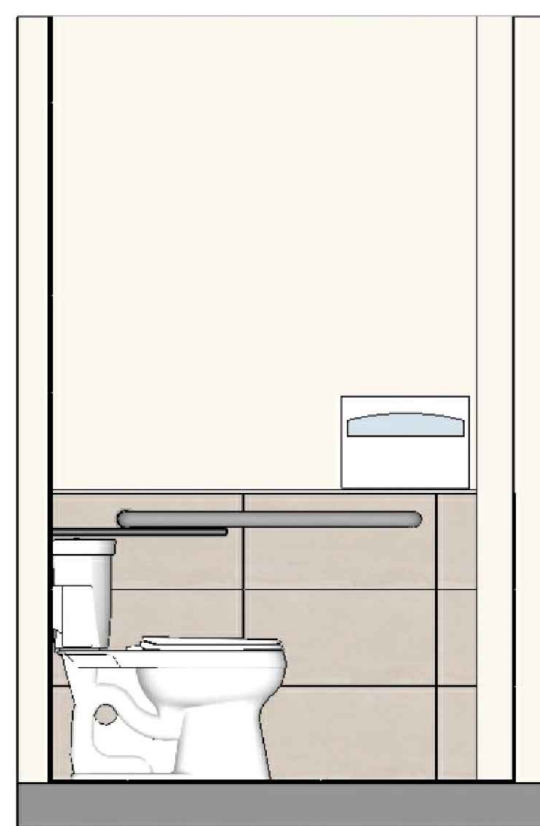
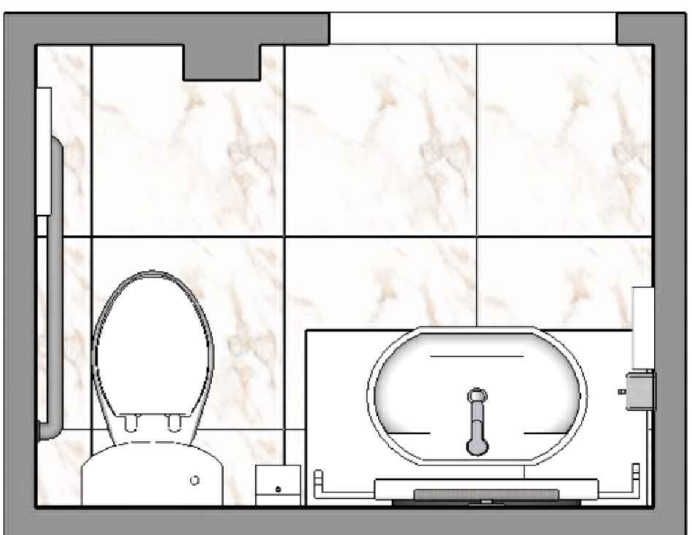
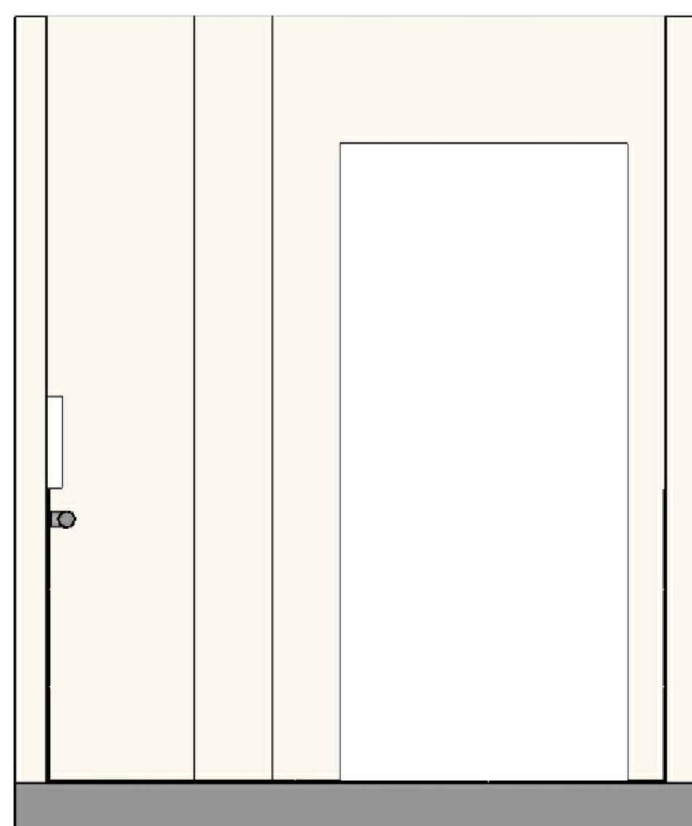


HALLWAY



7 PUBLIC RESTROOM PROPOSED PLAN  
NTS

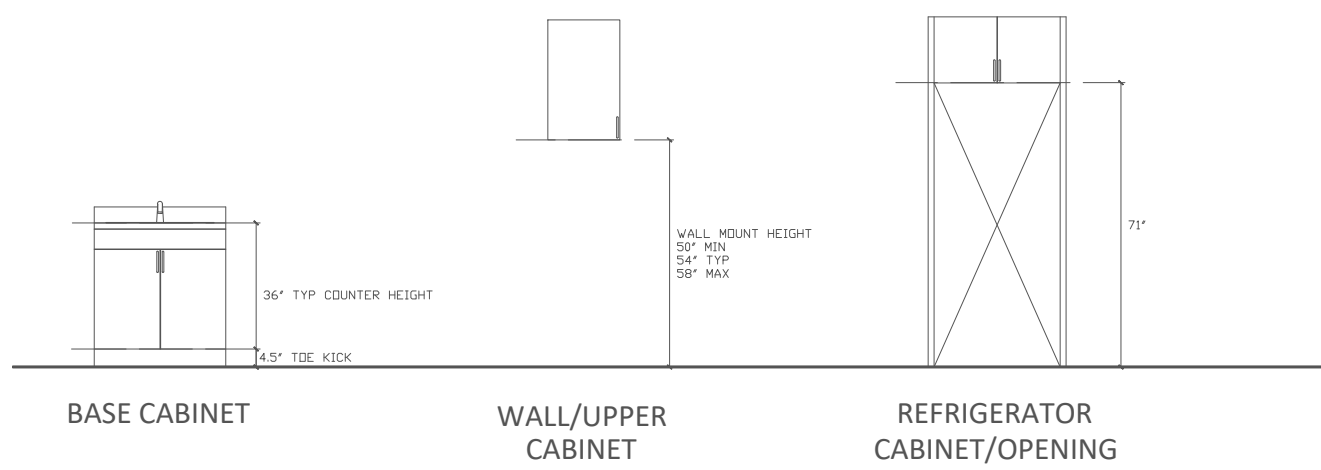
8 MEN'S RESTROOM PROPOSED PLAN  
NTS



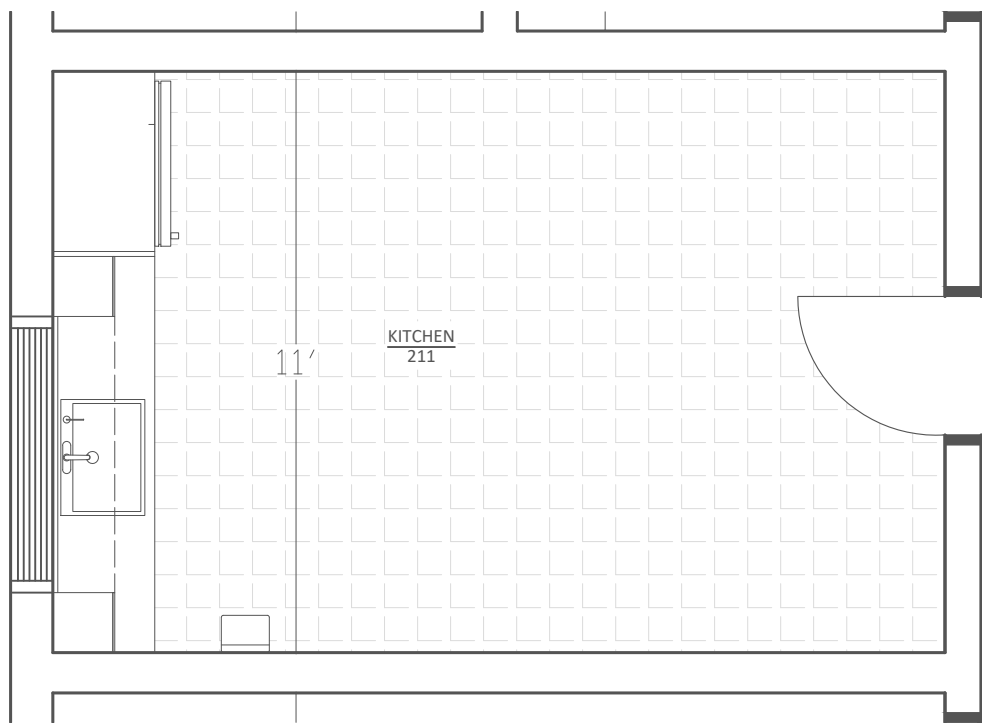
9 WOMEN'S RESTROOM PROPOSED PLAN  
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10 EXECUTIVE RESTROOM PROPOSED PLAN  
NTS

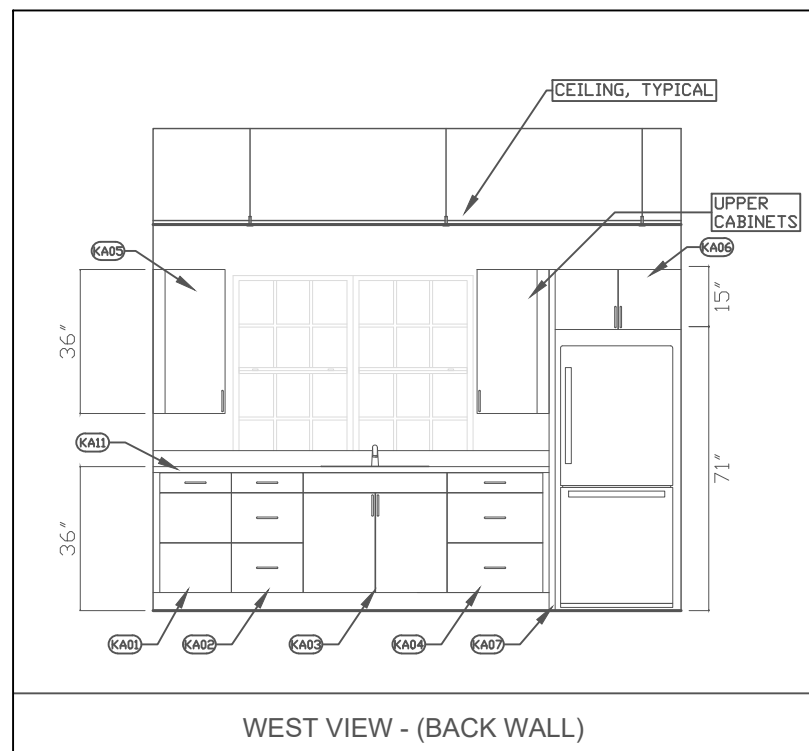




11 KITCHEN ACCESSORY MOUNTING HEIGHTS  
1/4" = 1'-0"

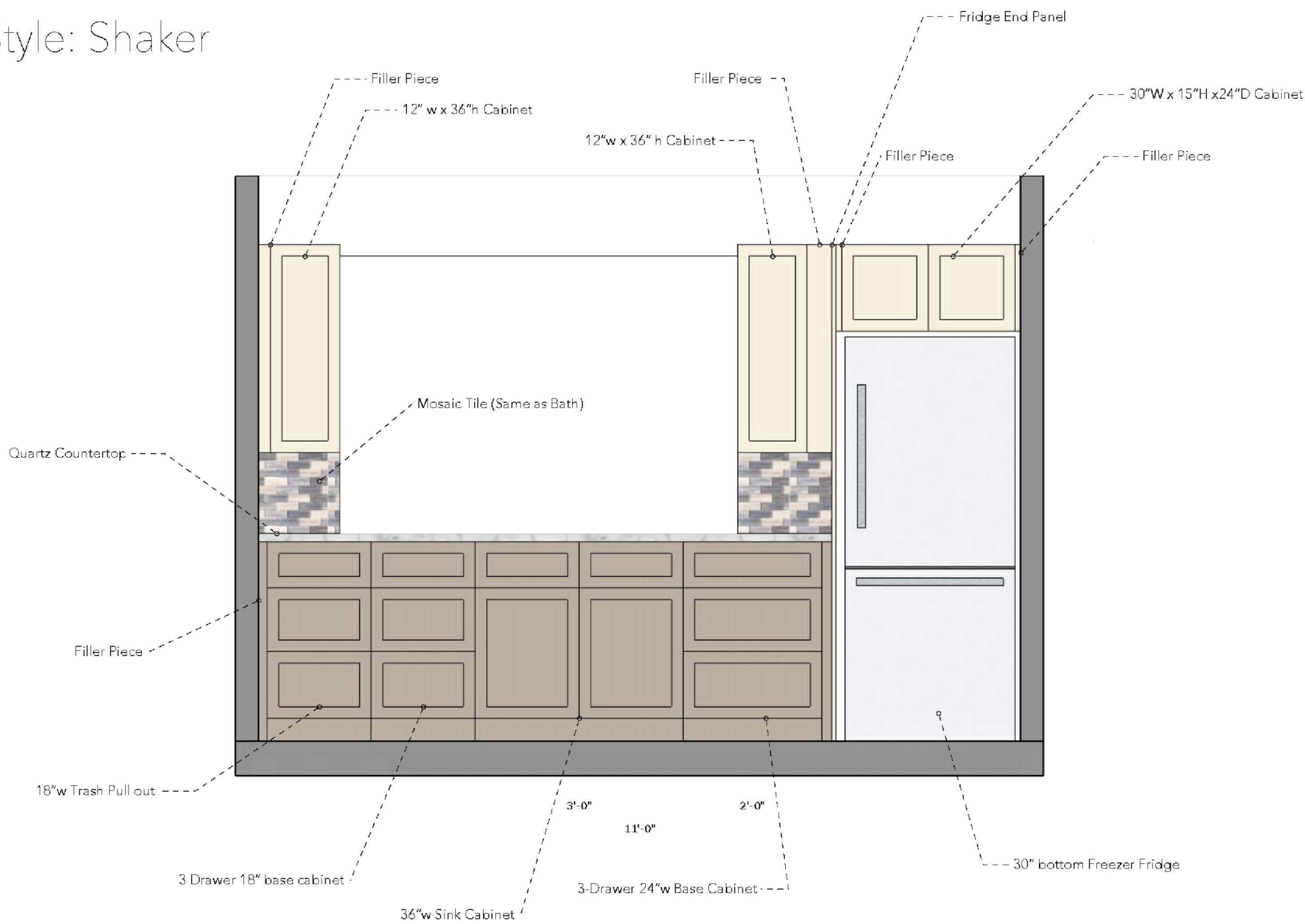


12 KITCHEN LAYOUT  
1/4" = 1'-0"



13 KITCHEN CABINET ELEVATION  
1/4" = 1'-0"

Cabinet Style: Shaker



14 KITCHEN SHAKER CABINET ELEVATION  
NTS

KITCHEN ACCESORY SCHEDULE				
ID	DESCRIPTION	MODEL/STYLE	QTY	COMMENTS
KA01	BASE TRASH PULL-OUT, 18"	SHAKER [COLOR: DOVE GRAY]	1	OR APPROVED EQUAL
KA02	BASE CABINET, 3-DRAWER, 18"	SHAKER [COLOR: DOVE GRAY]	1	OR APPROVED EQUAL
KA03	BASE CABINET, SINK 1-FRONT + 2-DOOR, 36"	SHAKER [COLOR: DOVE GRAY]	1	OR APPROVED EQUAL
KA04	BASE CABINET, 3-DRAWER 24"	SHAKER [COLOR: DOVE GRAY]	1	OR APPROVED EQUAL
KA05	WALL MOUNTED CABINET 1-DOOR, 12"	SHAKER [COLOR: DOVE GRAY]	2	OR APPROVED EQUAL
KA06	WALL MOUNTED TOP CABINET, FRIDGE 2-DOOR, 30"	SHAKER [COLOR: DOVE GRAY]	1	OR APPROVED EQUAL
KA07	CABINET COVER/FRIDGE END PANEL	SHAKER [COLOR: DOVE GRAY]	2	OR APPROVED EQUAL
KA08	SINK, SINGLE BOWL, DROP-IN 33"	HEROGO STAINLESS STEEL DROP-IN SINK	1	OR APPROVED EQUAL
KA09	KITCHEN SINK FAUCET	FORIOUS STAINLESS STEEL	1	OR APPROVED EQUAL
KA10	PAPER TOWEL DISPENSER (AUTO)	TBD	1	
KA11	QUARTZ COUNTERTOP	BLANCO MAPLE	1	OR APPROVED EQUAL

LOCATION

ST. CROIX  
U.S. VIRGIN  
ISLANDS

OWNER

PUBLIC DEFENDER  
OFFICE

KITCHEN GENERAL PLANS

SCALE

NTS

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GENERAL NOTES:  
A. GENERAL

1. GENERAL NOTES SHALL APPLY TO ALL SCOPE UNLESS SPECIFIC DETAILS ARE INDICATED OTHERWISE. WHERE SPECIFYING DETAIL OR REQUIREMENTS APPEAR TO BE ABSENT OR LIMITED, PROFESSIONAL WORKMANSHIP, BEST PRACTICES, AND BEST QUALITY PRODUCT AND WORK OF ITS RESPECTIVE KIND SHALL BE EMPLOYED.
2. ALL WORK SHALL BE COMPLETED BY QUALIFIED AND LICENSED CONTRACTOR
3. ALL CONSTRUCTION AND INSTALLATIONS SHALL CONFORM TO THE 2021 INTERNATIONAL BUILDING CODES (IBC), VI CODE, AND SPECIFICATIONS REQUIRED WITHIN THE CONSTRUCTION DOCUMENTS AND DRAWINGS. WHERE CODES CONFLICT OR PRESENT MULTIPLE OPTIONS, MORE STRINGENT OR PROJECT DOCUMENTS SHALL BE FOLLOWED.
4. PROJECT DOCUMENT REPRESENTS THE FINISH WORKS TO BE COMPLETED AND DOES NOT SPECIFY METHODS OF INSTALLATION NOR CERTIFIES THE CONDITIONS OF EXISTING CONSTRUCTION. DRAWINGS ARE NOT TO BE SCALED. NOTIFY ENGINEER OF CONDITIONS WHERE CRITICAL DIMENSIONS ARE DESIGNATED BUT CANNOT BE MET.
5. THE CONTRACTOR SHALL INSPECT AND VERIFY SITE CONDITIONS, DIMENSIONS, AND ELEVATION BEFORE STARTING WORK AND IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES. SIMILARLY, DURING CONSTRUCTION, ANY ARISING CONDITIONS THAT COULD NOT BE ASCERTAIN PRIOR TO COMMENCEMENT AND WILL REQUIRE SIGNIFICANT ALTERATIONS TO SCOPE AND REQUIREMENTS SHALL BE IMMEDIATELY BROUGHT TO THE PROJECT ENGINEER'S ATTENTION.
6. THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING OF ANY DISCREPANCIES, OMISSIONS, OR ALTERATIONS NEEDED TO COMPLETE THE WORK AND/OR CONFORM TO CODES AND REQUIREMENTS BEFORE PROCEEDING WITH WORK. UPON RECEIPT OF SUCH INFORMATION, THE ENGINEER SHALL ISSUE IN WRITING THE MANNER IN WHICH TO PROCEED WITH WORK. ANY DISCREPANCY, OMISSION, OR ALTERATION NOT REPORTED TO THE PROJECT ENGINEER SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
7. THE CONTRACTOR TAKE RESPONSIBILITY OF AND MAKE PROVISIONS FOR TEMPORARY BRACES, SHORING,

COVERINGS, RELOCATIONS, AND ALL NECESSARY PROTECTIVE MEASURES, WHEREVER NECESSARY, TO SUPPORT AND PROTECT NEW, EXISTING, AND TEMPORARY STRUCTURES, SURFACES, EQUIPMENT, AND SITE ENVIRONMENT FROM CONSTRUCTION ACTIVITIES, DISTURBANCES, ELEMENTS, AND DAMAGE.

8. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF ANY DAMAGE, NICKS, AND SCRATCHES TO NEW OR EXISTING ITEMS DUE TO CONSTRUCTION WORK, TYPICAL.
9. ANY MOUNTED EQUIPMENT, SPECIFIED TO BE REMOVED OR NOT MARKED FOR DISPOSAL, SHALL BE PRESENTED TO OWNER FOR STORAGE OR DISPOSAL. CONTRACTOR SHALL PROVIDE LEFTOVER MATERIAL OF FLOOR AND WALL COVERING DIRECTLY TO OWNER. SITE SHALL BE PROPERLY CLEANED AND TEMPORARY MEASURES REMOVED OR REINSTATED UPON COMPLETION OF CONSTRUCTION.

B. SITE WORK & SAFETY

1. CONTRACTOR SHALL WORK TO ACCOMMODATE ON-GOING OPERATIONS OF THE OWNER AND MINIMIZE IMPACT OF CONSTRUCTION ON OWNER'S STAFF AND ENVIRONMENT. CONTRACTOR SHALL ENSURE SAFETY AND SECURITY MEASURES ARE TAKEN TO PREVENT INADVERTENT INTERACTIONS AND INCIDENTS BETWEEN OWNER'S STAFF AND SENSITIVE CONSTRUCTION SITE AREAS.
2. ACCESS TO ALL EXITS, CORRIDORS, AND STAIRCASES SHALL REMAIN CLEAR AND FREE THROUGHOUT CONSTRUCTION. FIRE EXTINGUISHER AND SIMILAR FACILITIES SHALL REMAIN CLEAR AND ACCESSIBLE OR TEMPORARILY RELOCATED CONVENIENTLY AND CLEARLY VISIBLE AND/OR MARKED.
3. DEMOLITION AND CONSTRUCTION SHALL OCCUR DURING TIMEFRAME SPECIFIED AND AGREED UPON PRIOR TO START OF CONSTRUCTION. LOUD AND DIRTY WORK DURING NORMAL BUSINESS HOURS SHALL BE COORDINATED WITH THE OWNER.

C. UTILITIES

1. ELECTRICAL WORKS SHALL BE COMPLETED BY LICENSED ELECTRICIAN AND CONFORM TO THE NFPA 70, NATIONAL ELECTRIC CODE (NEC), 2023. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE INTENT AND REQUIREMENTS OF ALL LOCAL LAWS, CODES, AND

REGULATIONS.

2. PLUMBING WORKS SHALL BE COMPLETED BY LICENSED PLUMBER AND CONFORM TO THE UNIFORM PLUMBING CODES (UPC), 2021 OR LATER. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE INTENT AND REQUIREMENTS OF ALL LOCAL LAWS, CODES, AND REGULATIONS.
3. TEST WATER PRESSURE TO SUPPORT ALL NEW OR REPLACED FIXTURES. PROVIDE BOOSTER AS NECESSARY TO REACH REQUIRED LEVEL BY CODE.
4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL NECESSARY PERMITS, WHERE REQUIRED BY LOCAL AND FEDERAL LAW, ARE IN PLACE FOR COMPLETION OF WORK. ALL ASSOCIATED REQUIRED INSPECTIONS SHALL BE SCHEDULED AND CONDUCTED BY THE CONTRACTOR ON ALL PERMITS, WHERE APPLICABLE.
5. ANY REQUIRED OUTAGES (ELECTRICAL, WATER, FIRE SYSTEMS, ETC.) MUST BE SATISFACTORILY SCHEDULED AND COORDINATED WITH THE OWNER, WELL IN ADVANCE OF REQUIRED WORKS.

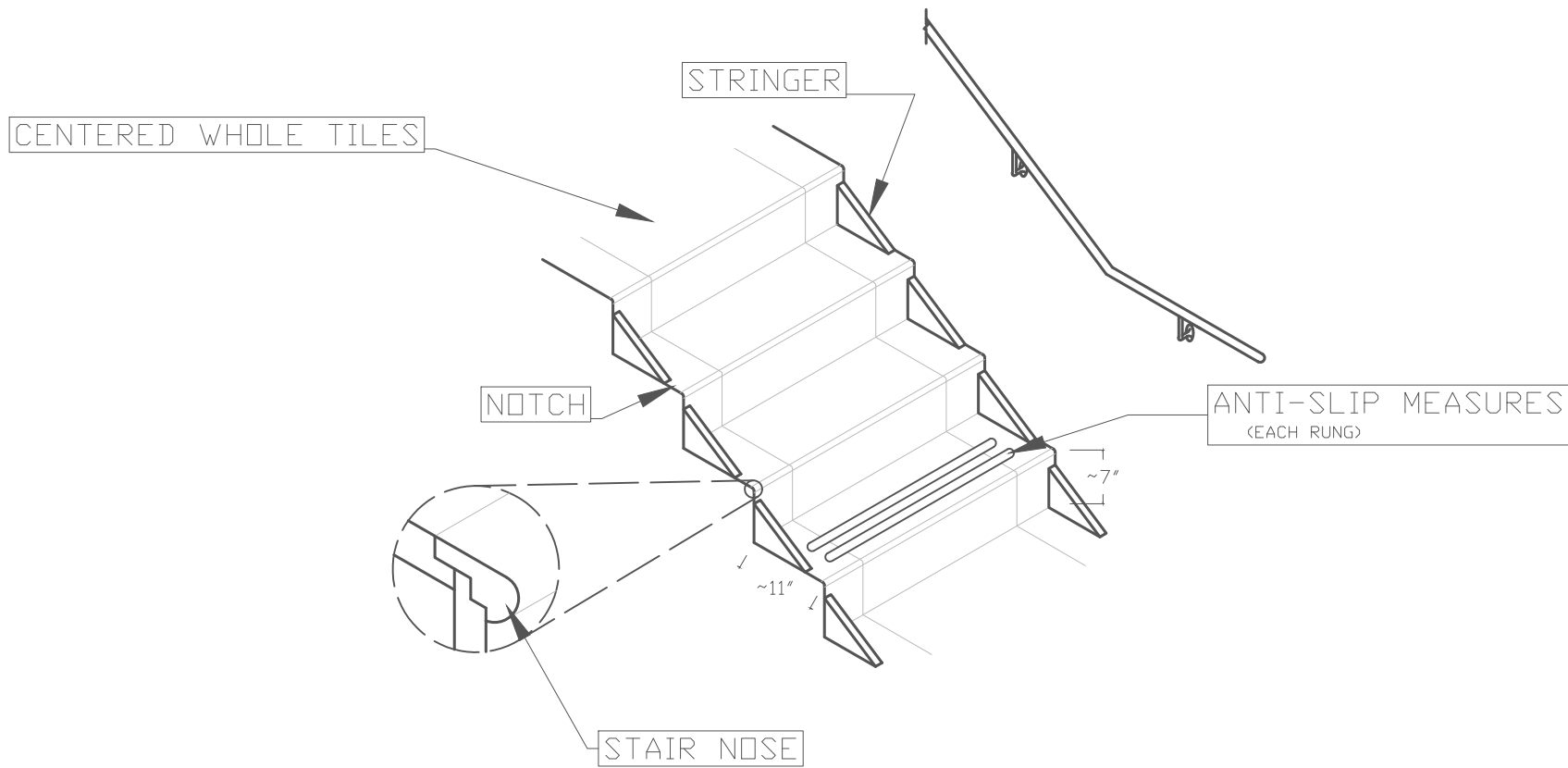
D. WALL ASSEMBLIES

1. UNLESS OTHERWISE NOTED, ALL NEW AND/OR PATCHED INTERIOR WALL CONSTRUCTION SHALL BE 2" X 4" WOOD STUDS @ 16" O.C. TO UNDERSIDE OF CEILING WITH 1/2" GYPSUM BASE AND 1/8" SKIM COAT PLASTER FINISH ON BOTH SIDES OF STUDS. ALL SEAMS AND JOINTS SHALL BE FULLY CONCEALED, TYPICAL THROUGHOUT. REFER TO FINISH SCHEDULES FOR TRIM & WALL FINISHES.
2. IF APPLICABLE, ALL GYPSUM BASE AT WET WALLS OF RESTROOM SHALL BE MOISTURE RESISTANT WITH 1/8" SKIM COAT PLASTER FINISH.
3. INTERIOR PAINTING SHALL INCLUDE ALL PREPARATORY WORK, ONE COAT PRIMER, AND TWO COATS FINISH. REFER TO FINISH SCHEDULES. UNLESS OTHERWISE NOTED, ALL NON-TILED WALLS ARE TO BE PAINTED.

E. FLOORING

1. IN THE ABSENCE OF RECOMMENDED OR SPECIFIC METHOD OF INSTALLATION, CONTRACTOR SHALL INSTALL ALL FINISHES IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION AND INSTRUCTIONS.

2. UPON COMPLETION OF CERAMIC/PORCELAIN TILES, CONTRACTOR SHALL CLEAN ALL TILE SURFACES ACCORDING TO MANUFACTURES SPECIFICATION TO MAKE FREE OF ALL HAZE AND FOREIGN MATTER. ALL GROUT SHALL BE SEALED AND CURED ACCORDING TO MANUFACTURER SPECIFICATIONS.
3. FINISH SUBSTITUTIONS SHALL BE SIMILAR IN SPECIFICATIONS AND APPROVED ONLY BY THE PROJECT ENGINEER
4. WHERE POSSIBLE, WHOLE TILES/PLANKS SHOULD BE CENTERED IN BOTH DIRECTIONS WITH SO THAT CUT FLOORING ON OPPOSITE SIDES EDGES OF THE FLOOR APPEAR SYMMETRICAL AND SIMILAR IN SIZE, TYPICAL.
5. FLOOR TRANSITIONS SHALL OCCUR AT CENTERLINE OF CLOSED DOOR, UNLESS OTHERWISE NOTED.



15 ENLARGED STAIRCASE FINISHING DETAIL  
1/2" = 1'-0"

LOCATION  
ST. CROIX  
U.S. VIRGIN  
ISLANDS

OWNER  
PUBLIC DEFENDER  
OFFICE

GENERAL NOTES AND  
DETAILS

SCALE  
1/2"=1'0"

APPROVAL  
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